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**CITY OF KELOWNA**

**MEMORANDUM**

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**DATE:** April 8, 2009

**TO:** City Manager

**FROM:** Land Use Management Department

**APPLICATION NO.** HRA09-0002      **OWNER:** Davara Holding Ltd.  
**AT:** 911 Borden Ave.      **APPLICANT:** Dustin Sargent

**PURPOSE:** TO ENTER INTO A HERITAGE REVITALIZATION AGREEMENT TO ALLOW CHANGES TO THE USE AND LAYOUT OF THE EXISTING HERITAGE STRUCTURE AND TO CONSTRUCT AN ADDITIONAL ACCESSORY BUILDING WITH A SUITE.

TO VARY THE PERMITTED HEIGHT OF AN ACCESSORY BUILDING FROM 4.5 M PERMITTED TO 4.87 M PROPOSED.

TO VARY THE MINIMUM REQUIRED SEPARATION BETWEEN BUILDINGS FROM 3M REQUIRED TO 2.7 M PROPOSED.

TO VARY THE REQUIRED PARKING STALLS FROM 8 REQUIRED TO 7 PROPOSED.

**EXISTING ZONE:** RM4 - TRANSITIONAL LOW DENSITY HOUSING

**REPORT PREPARED BY:** BIRTE DECLOUX

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1.0 RECOMMENDATION

THAT Council consider a bylaw which would authorize the City of Kelowna to enter into a Heritage Revitalization Agreement for the property Lot 1, District Lot 138, ODYD, Plan 2601, located at 911 Borden Avenue, Kelowna, B.C., in the form of such agreement attached to the report from the Land Use Management Department dated April 8, 2009 as "Schedule A";

AND THAT the Heritage Revitalization Agreement Authorization Bylaw be prepared and forwarded to a Public Hearing for further consideration;

AND THAT final adoption of the Heritage Revitalization Agreement be considered subsequent to the requirements of the Development Engineering Department and the applicant be required to post with the City a Landscape Performance Security deposit in the form of a "Letter of Credit" in the amount of 125% of the estimated value of the landscaping, as determined by a professional landscaper.

2.0 SUMMARY

Through the mechanism of a Heritage Revitalization Agreement (HRA), the applicant is proposing to refurbish the heritage house located at 911 Borden Avenue. The applicant



plans to reconfigure the house to include 5 offices on the first and second floors and maintain the residential suite on the third floor. A residence in an accessory building is also proposed for the site.

### 3.0 ADVISORY PLANNING COMMISSION

The Advisory Planning Commission (APC) passed the following recommendation at their meeting of March 31, 2009:

THAT the Advisory Planning Commission support Heritage Alteration Permit Application No. HRA09-0002, for 911 Borden Avenue, Lot 1, Plan 2601, District Lot 138, Sec 19, Twp 26, ODYD by Davara Holding Ltd., to enter into a Heritage Revitalization Agreement to permit the renovation of the existing heritage structure to allow offices, and also to construct an additional accessory building with a secondary suite.

THAT the Advisory Planning Commission support Heritage Alteration Permit Application No. HRA09-0002, for 911 Borden Avenue, Lot 1, Plan 2601, District Lot 138, Sec 19, Twp 26, ODYD by Davara Holding Ltd., to vary the permitted height of an accessory building from 4.5m permitted to 4.87m proposed; to vary the minimum required separation between buildings from 3m required to 2.7m proposed; to vary the required parking stalls from 8 required to 7 proposed.

*Note: APC commends the applicant for providing such a great improvement to the building. APC questioned the landscape improvements of the site plan. The Applicant noted that preliminary designs have been submitted and advised that the landscaping would be period dated. Staff have reviewed the concept landscape plan and made recommendations that the applicant has incorporated into the final plan.*

### 4.0 COMMUNITY HERITAGE COMMISSION

The Community Heritage Commission (CHC) passed the following recommendation at their meeting of April 2, 2009:

THAT the Community Heritage Commission support Heritage Revitalization Agreement Application No. HRA09-0002, for 911 Borden Avenue, by Davara Holding Ltd, to enter into a heritage revitalization agreement to permit changes to the use and layout of the existing heritage structure and to construct an additional accessory building with a suite; to vary the permitted height of an accessory building from 4.5 m permitted to 4.87 m proposed; to vary the minimum required separation between buildings from 3 m required to 2.7 m proposed, to vary the required parking stalls from 8 required to 7 proposed.

AND THAT all Schedules are attached to the Heritage Revitalization Agreement.

*Note: CHC commends the Applicant for all the quality of the improvements for this property.*

## 5.0 PROPOSAL

The subject property is included on the City of Kelowna's Heritage Register and is located on the southeast corner of Borden Avenue and Ethel Street. Built in 1915, the owner of the house also co-owned a brickyard which contributed the rich brick detail, unique in Kelowna. By the 1950's, the house was converted from single family use to multiple residential units.

Through the Heritage Revitalization Agreement, the applicant is proposing to refurbish the interior and exterior of the heritage house. Enhanced landscaping is planned to showcase the historical character of the property. The applicant intends to relocate their family run business and charitable foundation to the subject property.

Extensive external changes are proposed to include:

- Removal of south addition that was added sometime in the 1950's
- Installation of new wrought iron fire escape
- Refurbishing of original brick and wood work
- Refurbishing of soffits and fascia
- Installation of new eaves
- Replacement of wood windows and doors with new wood windows and heritage style wood doors
- Updating of roofing (possibly to slate if structurally feasible)
- Replacement of existing shakes
- Cladding of existing concrete parking with new stone
- Installation of a new deck and patio area on east side of the building
- Updates to lighting and hardware with a historical style
- Addition of complimentary brick and iron perimeter fencing

Interior renovations include:

- Rewiring of all electrical to code standard
- Overhaul of all plumbing and heating systems while retaining original radiant heating units
- Addition of fire sprinklers
- Re-exposure of original interior brickwork
- Restoration of the existing stairwell railings and mouldings

The office space is proposed to be occupied by the family businesses which include the applicant's firm (Davara Holdings) and two charitable donation foundations that work locally and abroad to improve the health, education and general well being of children and families around the world. The applicant has indicated that the hours of operation of the office would be 9am-5pm (Monday to Friday) and 1-4 employees will be engaged in the business. The office would occupy the entire first and second floors while the residential dwelling unit will occupy the third storey.

The landscaping scheme will be upgraded to compliment this prominent heritage building. Parking will be accessed from Ethel Street where a total of 7 spaces will be provided (5 outdoor and 2 within a garage). Landscaping will provide buffering of the parking from the adjacent properties.

CRITERIA	PROPOSAL	RM4 REQUIREMENTS
Lot Area (m <sup>2</sup> )	1,182 m <sup>2</sup>	900 m <sup>2</sup>
Lot Width (m)	28.5 m ❶	30.0m
Lot Depth (m)	41.5 m	30.0m
Site Coverage (%)	17.9% // 39.8%	50% for buildings 60% with parking and driveways
Storeys (#)	2.5 storeys (8.23 m)	3 storeys (13m max.)
<b>Setbacks (m)</b>		
Front yard setback	11.25 m	6.0 m
Rear yard setback	10.2 m	9.0m
Side (W) yard setback	Approx. 11 m	4.5m
Side (E) yard setback	6.0m	4.5m
<b>FAR</b>	0.31	0.65
<b>Accessory Building</b>		
Rear yard setback	1.5 m	1.5m
Height	4.87 m ❷	4.5 m
Separation between buildings	2.7 m ❸	3 m
Open Space	Meets requirements	15.m2 per 1 bedroom dwelling
Parking	2 in garage 2 tandem 3 in parking area Total = 7 ❹	1.25 per dwelling unit Office: 2.5 per 100 m <sup>2</sup> (216m <sup>2</sup> = 5 stalls) Total 8 stalls

❶ Lot width is existing non-conforming at 28.5 m

Variances Sought:

- ❷ To vary permitted height of an accessory building from 4.5 m permitted to 4.87 m proposed.
- ❸ To vary minimum required separation between buildings from 3m to 2.7 m proposed.
- ❹ To vary required parking stalls from 8 required to 7 proposed.

5.1 Site Location Map: 911 Borden Avenue



5.2 Site Context

The subject property is located in the Capri Village Area, on the north side of Borden Avenue between Richter Street and Ethel Street. The neighbourhood is characterized by single detached residential dwellings. Adjacent zones and uses are:

<i>Direction</i>	<i>Zoning Designation</i>	<i>Land Use</i>
North	RU6 – Two-Dwelling Housing	Residential
East	RU6 – Two-Dwelling Housing	Residential
South	RU6 – Two-Dwelling Housing	Residential
West	RU6 – Two-Dwelling Housing	Residential

5.3 Heritage Register

As indicated in the Heritage Register, the heritage home was built by Herman D. Riggs before 1915. Along with Charles Clement he bought the Harvey and Jackman brickyard which was active in the pre-World War 1 building boom. In the 1930s the house was owned by William T. Ortt, and by the 1950's it had been divided into 5 apartments. Era appropriate buildings were added and removed to the site, including a stable in 1915, a veranda and sleeping porch in 1931 and a garage in 1938. None of these additions exist today.

This charming brick residence is an eclectic mixture of Richardsonian/Queen Anne forms and detail. It has interesting features which include: pedimented gables, pronounced eaves with brackets, and a projecting arched entry with arched windows above it. It is rich in detail such as the brick soldier courses on

the segmented arch lintels (a horizontal beam or stone bridging an opening) over the windows. The building was awarded a "Canadian Heritage" Flag by the Federal Heritage Minister in 1997.

A large yard with very large trees and a prominent vegetable garden were the original landscape features.

## 6.0 CURRENT DEVELOPMENT POLICY

### 6.1 Kelowna Official Community Plan

The subject property is designated Multi-Unit Residential low density by Kelowna's Official Community Plan. The Multi-Unit Residential low density designation covers townhouses, garden apartments, apartments, buildings containing three or more residential units and complementary uses that are integral components of urban neighbourhoods would also be permitted (OCP, Chapter 19).

As it is a goal of the City of Kelowna to respect our heritage and preserve special features of our past for the benefit of present and future generations, the adaptive re-use of heritage buildings is considered appropriate within any future land use designation.

### 6.2 Adaptive Re-use Guidelines

After consideration has been given to location, each adaptive re-use proposal must be assessed on its own merits as to whether the proposal would be appropriate within the context of the heritage building, the surrounding neighbourhood and adjacent property characteristics. In this regard, the following factors should be considered:

#### 6.2.1 Neighbourhood Resident Concerns

The concerns of neighbouring property owners should be considered. Identifying and, wherever possible, resolving these issues when developing the terms and conditions specific to an application is important. Applicants are encouraged to discuss their proposed adaptive reuse with neighbouring property owners.

#### 6.2.2 Residential Component

A residential component (secondary suite, principal dwelling, etc.) should be provided in conjunction with a non-residential use in order to minimize impacts on the residential character of a neighbourhood. For security purposes, incorporating a residential component is particularly important where a high concentration of adaptive re-uses occurs along a particular block. *A suite will be retained on the third floor of the principal building as well as a suite will be constructed in an accessory building.*

### 6.2.3 Concentration of Adaptive Re-Uses

Careful consideration must be given to avoid a concentration of adaptive re-uses in any given area. In this regard, consideration should be given to maintaining the existing neighbourhood character. In addition, consideration should be given to whether or not permitting an adaptive re-use or a concentration of adaptive re-uses would limit the ability to redevelop the area to higher density uses supported in the OCP.

### 6.2.4 Design Standards

Any heritage building restorations, renovations or alterations must respect the heritage character of the building and its surrounding area. *The proposed restorations will increase the life of the building's heritage features.*

### 6.2.5 Scale

The size and intensity of the adaptive re-use component should be compatible with the surrounding neighbourhood and able to be readily accommodated within an existing heritage building. The requirements of a specific use, and the available floor area in the existing building, will limit the extent and nature of the adaptive re-use proposal. It is recommended that the number of employees not exceed four non-resident employees at any given time for adaptive re-uses along major roads and two non-resident employees at any given time for adaptive re-uses along local roads. In addition to this, it is recommended that, as a guideline, the non-residential floor area not exceed 85 m<sup>2</sup> (915 sq. ft.) for adaptive re-uses along major roads and 60 m<sup>2</sup> (645 sq. ft.) for adaptive re-uses along local roads. *At 216.3 m<sup>2</sup> the proposed development exceeds the recommended amount of commercial space. Staff is supportive of the larger commercial space, as the applicant seeks to have 'grand' offices, consistent with the heritage character of the building.*

### 6.2.6 Signage

Signage should be limited to one non-illuminated nameplate not to exceed 2.5 square feet in area and shall be placed within, flat against or hanging from the dwelling unit. Along major roads, signs of this size and dimension may be hung from a free standing post. *No signage is being proposed for the business at this site.*

### 6.2.7 Parking / Access

Consideration must be given to on-site parking, access and traffic generation associated with adaptive re-use proposals. In order to limit the impact on adjacent properties, the required number of on-site parking spaces should conform to the Parking Schedule of the Zoning Bylaw. *Access to parking is off Ethel Street which is designated as a major*

*arterial road in the 20 year Transportation plan. A variance is being sought to reduce the required parking from 8 stalls required to 7 provided.*

#### 6.2.8 Hours of Operation

No generation of vehicular traffic or parking of vehicles in excess of that permitted for the zone in which the adaptive re-use is located should be permitted during non-regular working hours. Generally, working hours should be limited to daytime hours, Monday through Friday. *Hours of operation will be 9 – 5, Monday through Friday at this site.*

#### 6.2.9 Screening

Screening helps lessen the impact of an adaptive re-use in a residential area. In this regard, outdoor storage and parking areas associated with an adaptive re-use should be well screened with fencing and landscaping which are compatible in design with the heritage building and which form a year round dense screen. *A classic wrought iron with brick pillar fence is proposed for the north, east, and west perimeter of the yard and vegetative screening is proposed for the south side. The applicant intends to upgrade the landscaping.*

### 7.0 TECHNICAL COMMENTS

#### 7.1 Building and Permitting

Building, heating and plumbing permits required. New construction must conform to requirements of BCBC 2006 Part 1 Section 1.1.1.1 (o) Heritage Buildings Code. Proposed slate roof installation upgrade requires a structural consultant report. Spatial calculations required for proposed carriage house relative to existing residence.

#### 7.2 Shaw Cable

Owner/developer to install underground conduit system

#### 7.3 Development Engineering

Please see attached.

#### 7.4 Fire Department

This is a corner lot and fire fighter access can not be compromised by fences, vehicles, etc. Correct, visible addressing required. Spatial separations required as per BCBC 2006. The fire escape and exit signs must comply with BCBC 2006 subsections 3.4.7 and 3.4.5.

### 8.0 LAND USE MANAGEMENT DEPARTMENT

The Land Use Management Department is supportive of the proposed Heritage Revitalization Agreement (HRA) for the subject property, as no previous HRA exists. The proposed upgrades to the heritage building have a positive impact for the longevity of the building and restoring its prominence as a landmark on the street. Using the building for mixed office and residential is appropriate given that the building is located within the boundary for the Capri Village area and within 2 blocks of the Downtown Urban Area.



The OCP encourages the use of Heritage Revitalization Agreements as a means of facilitating the adaptive re-use and continued protection of heritage buildings. The proposal is also generally compatible with the City of Kelowna's Adaptive Re-use Guidelines for Residential Heritage Buildings. Although there are many detailed upgrades proposed for the building's exterior, the only significant structural change is to remove an uncharacteristic 1950's addition. Therefore, the heritage character of the building will be improved.

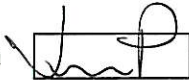
The landscape plan communicates the tone and style of the home's period while being accessible and sustainable. Garden beds are proposed around the principal building and on the east side of the site planted with period appropriate plant materials. Paving stones will replace the concrete paths leading throughout the property. A circular patio terrace along with a deck are planned to create some private outdoor space for the inhabitants of the principal building. For the accessory building there is also a patio. The applicant proposes to retain the existing trees on the property, specifically the Caroline Poplar which was listed as a significant tree in the "Heritage Trees of Kelowna: Inner City Sector". In addition, screened parking from the adjacent properties is proposed.

The proposed business will be operated during times recommended in the Guidelines. The site incorporates two dwelling units, thus helping to maintain the residential character of the area as well as providing surveillance of the property outside of working hours. The design of the accessory building both compliments the existing heritage building and is a suitable transition to the neighbouring residence.



\_\_\_\_\_  
Danielle Noble  
Manager, Urban Land Use

Approved for Inclusion

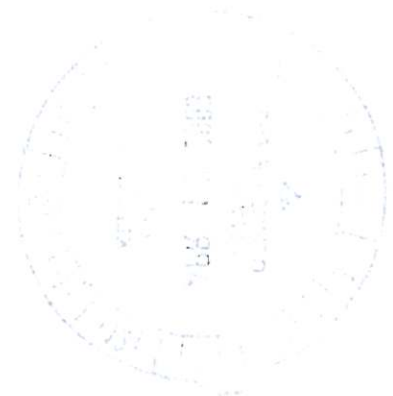


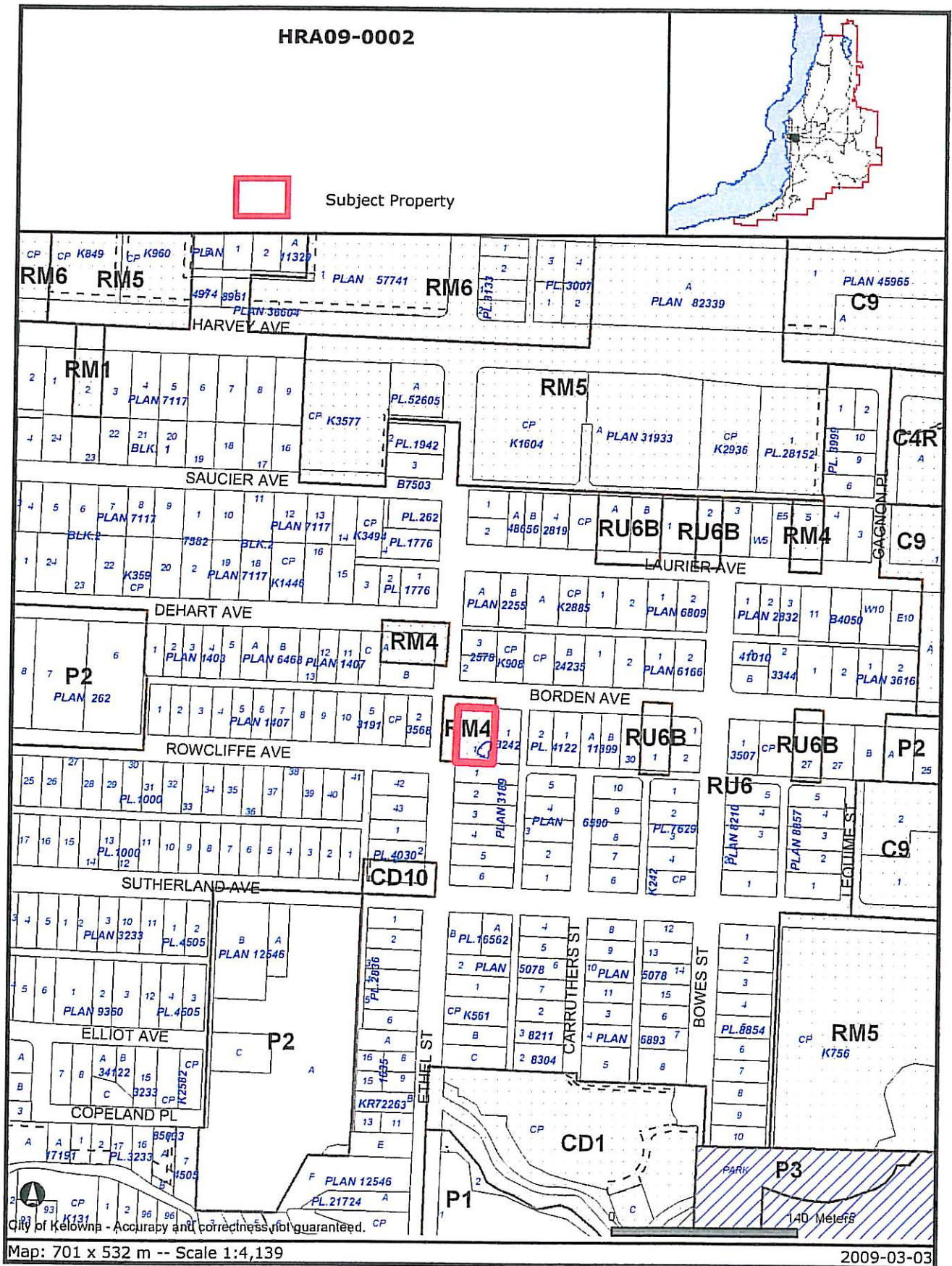
Shelley Gambacort  
Director of Land Use Management

DN/bcd

Attachments:

- Location Map
- Heritage Building Information
- Development Engineering comments





City of Kelowna - Accuracy and correctness not guaranteed.

Map: 701 x 532 m -- Scale 1:4,139

2009-03-03

Certain layers such as lots, zoning and dp areas are updated bi-weekly. This map is for general information only. The City of Kelowna does not guarantee its accuracy. All information should be verified.

CITY OF KELOWNA  
MEMORANDUM

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**Date:** March 19, 2009  
**File No.:** HRA09-0002  
**To:** Land Use Management Department (BD)  
**From:** Development Engineering Manager  
**Subject:** 911 Borden Avenue Lot 1 Plan 2601

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Development Engineering Services has the following requirements associated with this application.

1. Domestic Water and Fire Protection

This property is currently serviced with a small diameter (13-mm) water service, which is substandard. Disconnect and provide a new water service to meet current by-law requirements. **The applicant will be required to sign a Third Party Work Order for the cost of the works prior to issuance of the permit. For estimate inquiry's please contact John Filipenko at 250-469-8581.**

2. Sanitary Sewer

The 100mm-diameter sanitary sewer service should be adequate for the proposed application. An inspection chamber (IC) is in place and no further upgrades are required.

3. Site Related Issues

Adequate, hard surface on-site parking must be provided. The parking modules must meet by-law requirements.  
Direct the roof drains into on-site rock pits. This will help dissipate the roof drain water and prevent additional concentrated flows onto the road.

4. Electric Power and Telecommunication Services

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

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Steve Muenz, P. Eng.  
Development Engineering Manager  
JF

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## Heritage Building

### Heritage Building Information



**Kid:** [268110](#) **Plan:** 2601 **Lot:** 1 **Block:**  
[Map](#)  
**Civic Address:** 911 Borden Ave  
**Neighbourhood:** South Central  
**Building Name:** H.D. Riggs House  
**Conservation Area:** no  
**Date Built:** 1915  
**Status:** Active

**Historical Significance:** Built by Herman D. Riggs, co-owner of a brickyard active in the pre-WW I building boom. The house was converted from single family use to apartments - typical of urban intensification.

**History:** Built by H.D. Riggs before 1915. Charles Clement and Herman D. Riggs bought Harvey and Jackman's brickyard, which had been started in 1905. Clement Riggs Ltd. (brick manufacturers) flourished 1911-14, but closed when WWI began. The brickyard was later reopened by others and operated until the 1930s. In the 1930s the house was owned by William T. Ortt (retired). By the 1950s it had been divided into apartments.

**Architectural Significance:** This richly-detailed brick residence is unusual for Kelowna.

**Style / Character:** Attractive, charming brick residence is an eclectic mixture of Richardsonian/Queen Anne forms and detail, older styles which were somewhat out of date by 1915. (The house may be earlier.)

**Design Features:** A large house with interesting features including: pedimented gables, pronounced eaves with brackets, and a projecting arched entry with arched window above it. It is rich in detail such as the brick soldier courses on the segmented arch lintel over the windows. Projecting bay RH side.

**Architect:** unknown

**Builder:** Charles Clement and H.D. Riggs

**Building Construction:** brick

**Foundation Construction:** parged concrete or stone

**Stories:** 2.5

**Roof Type:** cross gabled low pitch, hipped entry bay

**Window types:** 1/1 DH, segmented arch, semi-circular, bay w.

**Exterior Wall Material:** brick

**Original Wall Material:** same

**Exterior Wall Color:** red brick

**Landscape Features:** Large yard with very large trees and a prominent vegetable garden. A broad lawn surrounds the house.

**Associated Buildings:** small garden shed

**Alterations Documented:** 1915 stable; 1931 verandah and sleeping porch; 1938 garage; renovated into 5 self-contained suites

**Alterations:** A sunroom and attic porch (3 storeys, wood) added to the back, this portion is

**Observed:** constructed in different materials than the main body of the house.  
**Site Context:** Very large corner lot with a house much larger and more impressive than those in the immediate area. Associated historically with 1019-1023 Borden (its barn) and with 1049 Borden.  
**Source:** KHRI 1983; STREET FILES; KHRI FORMS; JEFFRIES 1913; SUN 1936; date built and builder OHS:47:51;  
**Additional Notes and Comments:** The building date of 1915 in KHRI is based on the building permit of that date, but while its cover says "new building", inside it says "stable". Awarded "Canadian Heritage" Flag by Heritage Minister Sheila Copps, 1997.

**Updates:**

<b>History Recorder Name:</b>	David Dendy	<b>Date Recorded:</b>	1997-09-03
<b>Field Recorder Name:</b>	Leigh-Ann Carter	<b>Date Recorded:</b>	1997-07-02
<b>Photographer:</b>	Leigh-Ann Carter	<b>Date Photographed:</b>	1997-07-02
<b>Photo Reference:</b>	CD4.47-49,		
<b>Main Photo File:</b>			



**Additional Photos:**



**CRHP Inventory:** [Click Here](#)



**SCHEDULE "A"**  
**HERITAGE REVITALIZATION AGREEMENT**

DOCUMENT APPROVAL			
Document No. HRA09-0002			
Cir	Department	Date	Init.
	LUM	Apr. 16/09	DW
	Dev. Eng.	09/04/16	AD
	Bldg & Permit	APR 22-16	MS
	City Clerks	Apr. 16/09	SCF

THIS AGREEMENT dated as of the \_\_\_ day of \_\_\_\_\_, 2009

BETWEEN:

CITY OF KELOWNA, a Municipal Corporation having offices at  
1435 Water Street, Kelowna, British Columbia V1Y 1J4

(herein called the "CITY")

OF THE FIRST PART

AND:

Davara Holding Ltd., Inc. No. BC0797640  
Dustin Sargent  
1 – 911 Borden Ave  
Kelowna, BC, V1Y 6A5

(herein called the "OWNER")

OF THE SECOND PART

WHEREAS a local government may, by bylaw, enter into a Heritage Revitalization Agreement with the Owner of property identified as having heritage value, pursuant to Section 966 of the *Local Government Act*;

AND WHEREAS the Owner owns certain real property on which is situated a building of heritage value, pursuant to the City's Heritage Register, which property and building are located at 911 Borden Avenue, Kelowna, British Columbia and legally described as:

Parcel Identifier: 002-256-479  
Lot 1, District Lot 138, ODYD, Plan 2601

(herein called the "Heritage Lands")

AND WHEREAS the Owner has presented to the City a proposal for the use, development and preservation of the Heritage Lands and has voluntarily and without any requirement by the City, entered into this agreement pursuant to Section 966 of the *Local Government Act*;

AND WHEREAS a local government must hold a Public Hearing on the matter before entering into, or amending, a Heritage Revitalization Agreement if the agreement or amendment would

SCHEDULE "A" - Page 2.

permit a change to the use or density of use that is not otherwise authorized by the applicable zoning of the Heritage Lands and for these purposes Section 890 through 894 of the *Local Government Act* apply;

AND WHEREAS within thirty days after entering into, or amending, a Heritage Revitalization Agreement the local government must file a notice in the Land Title Office in accordance with Section 976 of the *Local Government Act* and give notice to the Minister responsible for the *Heritage Conservation Act* in accordance with Section 977 of the *Local Government Act*;

NOW THEREFORE in consideration of the mutual promises contained in this agreement and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, the parties agree as follows:

**1.0 Heritage Revitalization**

1.1 The parties agree that the Heritage Lands have heritage value, deserving of protection and conservation and the Owner specifically agrees to restore, maintain, preserve and protect the heritage character of the buildings located on the Heritage Lands in accordance with attached Schedules "AA", "BB", & "CC".

1.2 The parties agree that the Heritage Lands may, notwithstanding the RM4 – Transitional Low Density Housing zoning on the Heritage Lands, be used for the following permitted uses:

(a) The adaptive reuse of the house to a mixed-use office building provided that:

- i. The reorganization and rehabilitation of the interior of the existing heritage home removing all residential units on the first and second floors, and convert these floors to office space;
- ii. The maximum floor area of the commercial space be limited to 217m<sup>2</sup>;
- iii. The hours of operation for all commercial enterprises located on the subject property shall take place between 9:00am – 5:00pm, Monday through Friday;
- iv. The number of staff operating from the Heritage Building is limited to a maximum of 4 employees;
- v. Seven on-site parking stalls shall be provided. Two of the residential on-site parking stalls will be within the garage of the accessory building.

(b) A maximum of two residential units consisting of:

- i. maintaining one residential unit on the third floor;
- ii. The construction of an accessory building to accommodate an additional residential unit.

1.3 The parties agree that, except as varied or supplemented by the provisions of this agreement, all bylaws and regulations of the City and all laws of any authority having jurisdiction shall apply to the Heritage Lands and the Heritage Building.

1.4 Where a Heritage Alteration Permit is required, the discretion to approve, refuse, or revise such permit is delegated by Council to the Director of Land Use Management.

**2.0 Conservation and Maintenance of Existing Development.**

2.1 The owner agrees not to alter the exterior of the heritage building except pursuant to a heritage alteration permit issued by the City, and in accordance with this agreement.

2.2 The owner agrees to restore the exterior of the Heritage Building on the Heritage Lands in general accordance with the design proposal attached hereto as Schedules "BB(1-9)", and forming part of this agreement, which restoration shall include, but not be restricted to the following:

a) Performing cosmetic upgrades to the exterior of the existing Heritage Building which will increase the life of the building's heritage features as shown on Schedule "BB (7 – 10)";

2.3 If original features must be replaced, the new material shall be similar or identical to the original. Where original features were removed through earlier renovations or alterations and the replacements were not in keeping with the original style of the building, any subsequent replacement of these features shall complement the building's heritage style.

**3.0 Proposed Development**

3.1 The parties agree that variances to the following subsections of **Section 13 – Urban Residential Zones & Section 8 – Parking and Loading** of City of Kelowna Zoning Bylaw No. 8000 be granted through this agreement:

**Zoning Bylaw No. 8000 - 13.10.6 Development Regulations:**

Section 13.10.6 (c) – Development Regulation – Accessory Building Height  
Vary the permitted height of an accessory building from 4.5 m permitted to 4.87 m proposed as shown in Schedule "BB(5)" attached to this agreement.

Section 13.10.6 (g) – Development Regulations – Separation distance between buildings  
Vary the minimum required separation between buildings from 3m required to 2.7m proposed as shown in Schedule "AA" attached to this agreement.

**Zoning Bylaw No. 8000 - Table 8.1 – Parking Schedule:**

Section 8.1 – Parking Schedule – Commercial offices and Apartments  
Vary the parking requirement from 8 stalls required to 7 stalls proposed as shown in Schedule "AA" attached to this agreement.

3.2 The Owner agrees to undertake and maintain landscaping on the subject property in general accordance with the landscape plans attached hereto as Schedule "CC (1- 2)" and forming part of this agreement.

(hereinafter called the "Landscaping Works")

That existing significant trees are retained on the property. Specifically, the 'Caroline Popular' as listed in the "Heritage Trees of Kelowna: Inner City Sector" as highlighted on Schedule "CC (1-2)". The Heritage Maple tree and the Indian Bean tree on the site will also be preserved.



- 3.3 The Owner agrees to provide and pay for all servicing required by the proposed development of the Heritage Lands and to provide required bonding for same, including, but not limited to: domestic water and fire protection, sanitary sewer, storm drainage, road improvements, road dedications and statutory rights-of-way for utility servicing, power and telecommunication services and street lighting all as noted in section 4.0 of this agreement.

(hereinafter called the "Development Engineering Department Requirements")

#### **4.0 Development Engineering Requirements**

##### **4.1 Domestic Water**

This property is currently serviced with a small diameter (13-mm) water service, which is substandard. Disconnect and provide a new water service to meet current by-law requirements. The applicant will be required to sign a Third Party Work Order for the cost of the works prior to issuance of the permit.

##### **4.2 Sanitary Sewer**

Our records indicate that this property is currently serviced with a 100mm-diameter PVC sanitary sewer service. An inspection chamber (IC) is in place and no further upgrades are required.

##### **4.3 Site Access and Development Related Issues**

Adequate off-street parking must be provided and parking modules must meet zone size requirements.

Direct the roof drains into on-site rock pits. This will help dissipate the roof drain water and prevent additional concentrated flows onto the rear lane.

##### **4.4 Electric Power and Telecommunication Services**

It is the applicant's responsibility to make a servicing application with the respective electric power, telephone and cable transmission companies to arrange for service upgrades to these services which would be at the applicant's cost.

#### **5.0 Building and Permitting**

Building, heating and plumbing permits required. New construction must conform to requirements of BCBC 2006 Part 1 Section 1.1.1.1 (o) Heritage Buildings. Code analysis required for proposed change of occupancy to first and second floor levels. Proposed slate roof installation upgrade requires structural consultant report. Spatial calculations required for proposed carriage house relative to existing residence.

#### **6.0 Fire Department**

This is a corner lot and fire fighter access can not be compromised by fences, vehicles etc. Correct, visible addressing required. Spatial separations required as per BCBC 2006. The fire escape and exit signs must comply with BCBC 2006 subsections 3.4.7 and 3.4.5.

**7.0 Commencement and Completion**

7.1 The Owner agrees to commence the Restoration Works, Landscaping Works, and Works and Utilities Requirements forthwith upon adoption of City of Kelowna Heritage Revitalization Agreement Authorization Bylaw No. 10180 and to complete all such Works no later than June 30, 2010.

**8.0 Damage or Destruction**

8.1 In the event that no more than 75% of the Heritage Building is damaged, the parties agree as follows:

a) The Owner may repair the Heritage Building in which event the Owner shall forthwith commence the repair work and complete same within one year of the date of damage;

OR, in the event that the Heritage Building is destroyed,

b) The City may, by bylaw, and after conducting a Public Hearing in the manner prescribed by Sections 890 through 894 of the *Local Government Act*, cancel this agreement, whereupon all use and occupation of the Heritage Lands shall thenceforth be in accordance with the zoning bylaws of the City and in accordance with all other bylaws or regulations of the City or any other laws of authority having jurisdiction.

**9.0 Breach**

9.1 In the event that the Owner is in breach of any term of this Agreement, the City may give the Owner notice in writing of the breach and the Owner shall remedy the breach within 30 days of receipt of the notice. In the event that the Owner fails to remedy the breach within the time allotted by the notice, the City may, by bylaw and after conducting a Public Hearing in the manner prescribed by Sections 890 through 894 of the *Local Government Act*, cancel this Agreement whereupon all use and occupation of the Heritage Lands shall thenceforth be in accordance with the zoning bylaws of the City and in accordance with all other bylaws or regulations of the City or any other laws of authority having jurisdiction.

**10.0 Amendment**

10.1 The parties acknowledge and agree that this Agreement may only be amended by one of the following means:

a) By bylaw with the consent of the parties provided that a Public Hearing shall be held if an amendment would permit a change to use or density of use on site or;

b) By Heritage Alteration Permit (HAP), issued pursuant to Section 972 of the *Local Government Act*.

**11.0 Representations**

11.1 It is mutually understood and agreed upon between the parties that the City has made no representations, covenants, warranties, promises or agreements expressed or implied, other than those expressly contained in this Agreement.

**12.0 Statutory Functions**

- 12.1 Except as expressly varied or supplemented herein, this Agreement shall not prejudice or affect the rights and powers of the City in the exercise of its statutory functions and responsibilities including, but not limited to, the *Local Government Act* and its rights and powers under any enactments, bylaws, order or regulations, all of which, except as expressly varied or supplemented herein, are applicable to the Heritage Lands.

**13.0 Inurement**

- 13.1 This Agreement inures to the benefit of and is binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

**14.0 Other Documents**

- 14.1 The Owner agrees at the request of the City, to execute and deliver or cause to be executed and delivered all such further agreements, documents and instruments and to do and perform or cause to be done and performed all such acts and things as may be required in the opinion of the City to give full effect to the intent of this Agreement.

**15.0 Notices**

- 15.1 Any notice required to be given pursuant to this Agreement shall be in writing and shall either be delivered mailed by registered mail as follows:

- (a) To the City:

City of Kelowna  
1435 Water Street  
Kelowna, B.C. V1Y 1J4

ATTENTION: City Clerk

- (b) To the Owner:

Davara Holding Ltd., Inc. No. BC0797640

Dustin Sargent  
1 – 911 Borden Ave  
Kelowna, BC, V1Y 6A5

Or, to such other address to which a party hereto may from time to time advise in writing

**16.0 No Partnership or Agency**

- 16.1 The parties agree that nothing contained herein creates a relationship between the parties of partnership, joint venture or agency.

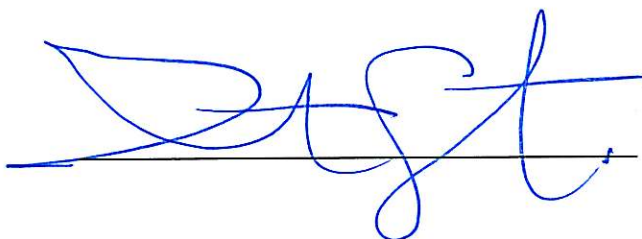
IN WITNESS WHEREOF this Agreement has been executed by the parties hereto on the day and year first above written.

CITY OF KELOWNA  
by its authorized signatories

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

Davara Holdings Ltd., Inc. NO BC0797640  
Signed by DUSTIN SARGENT



\_\_\_\_\_  
A handwritten signature in blue ink, appearing to read 'Dust', is written over a horizontal line.

In the presence of:

CHARLES CULLEN

Witness (print name)



\_\_\_\_\_  
A handwritten signature in blue ink, appearing to read 'Cullen', is written over a horizontal line.

Witness (Signature)

5045 SCOTTY CREEK ROAD

Address

CARPENTER

Occupation

**STICKS and STONES**  
design group

PH: 250.712.9202  
FAX: 250.712.9201

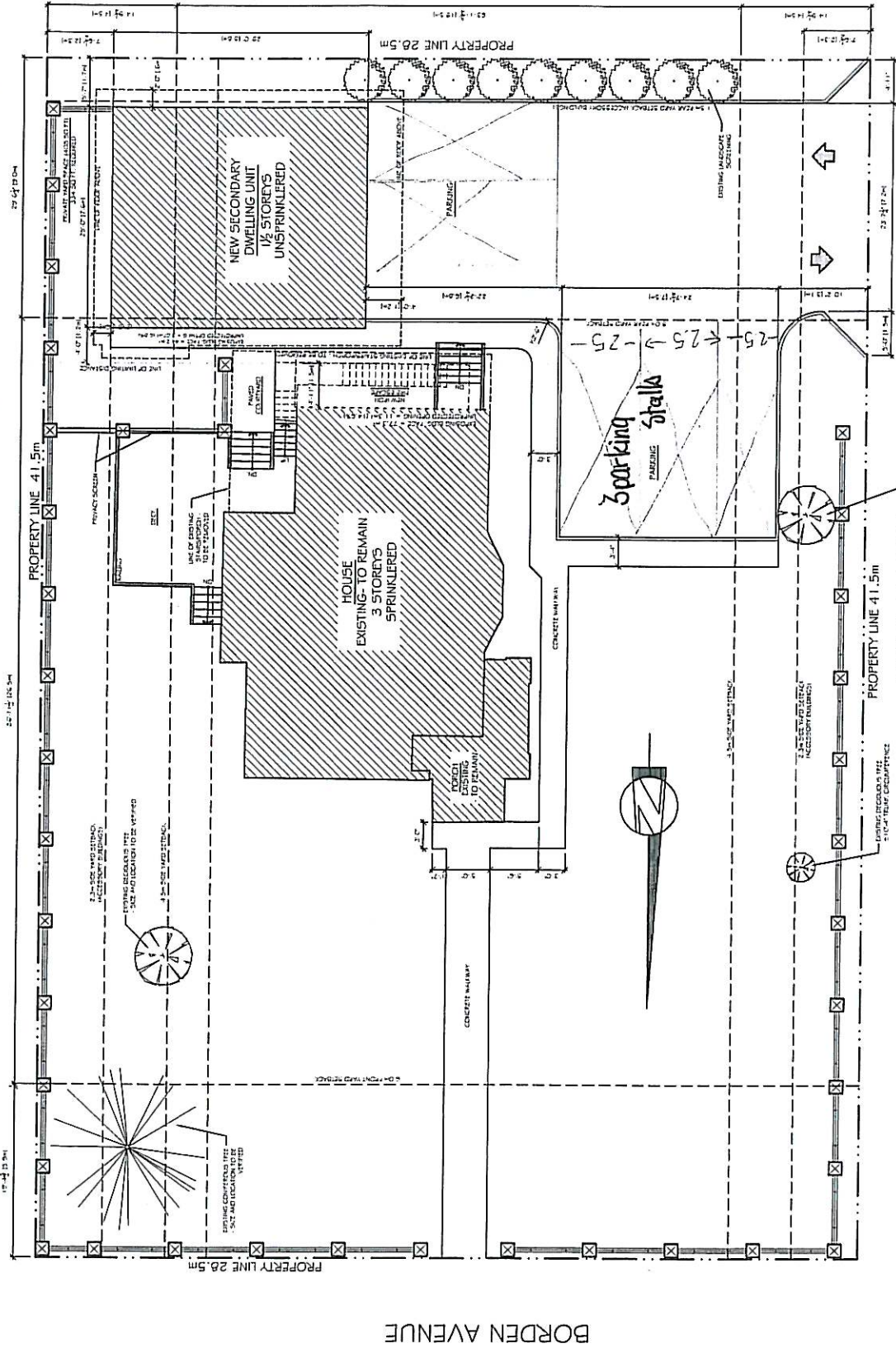
**NOT FOR CONSTRUCTION**

NO.	REVISION	DATE	BY
1			
2			
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5			
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DO NOT SCALE DRAWING  
VERIFY ALL DIMENSIONS AND INFORMATION  
APPROPRIATE FOR THE PROJECT TO THE EXTENT OF THE CONTRACT DOCUMENTS TO THE APPLICABLE BUILDING CODES.  
THESE DRAWINGS ARE PUBLISHED BY THE ARCHITECT AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.

PROJECT: 911 BORDEN AVENUE  
ADDRESS AND LEGAL: 911 BORDEN AVENUE KELOWNA B.C.  
LOT: 1  
BLOCK: --  
PLAN: 2604

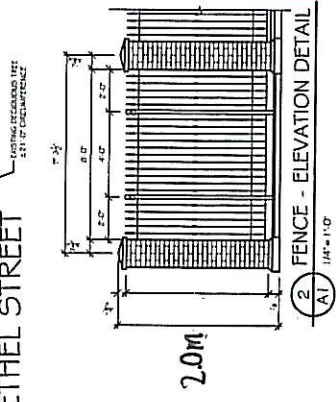
DRAWING TITLE: SITE PLAN  
DATE: 02/04/2009  
REVISION: 3  
SCALE: AS NOTED  
DRAWN BY: PK  
SHEET NO.: A-1  
CHECKED BY:



**SCHEDULE AA**  
This forms part of development Permit # **HR09-0002**

**(1) SITE PLAN**  
1/8" = 1'-0"

**(2) FENCE - ELEVATION DETAIL**  
1/4" = 1'-0"



**SITE & DEVELOPMENT DATA**

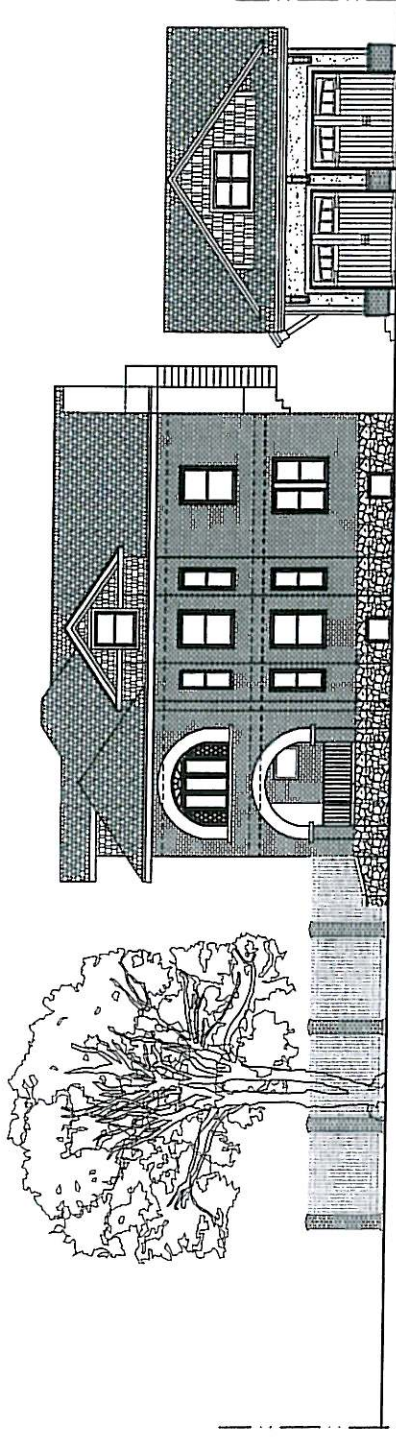
SITE AREA:	12731.0 sq ft. (1162.8m <sup>2</sup> )
GROSS FLOOR AREA - PRINCIPAL BUILDING (GFA):	1100.8 sq ft. (103.2m <sup>2</sup> )
SECOND:	1217.0 sq ft. (113.3m <sup>2</sup> )
THIRD:	652.2 sq ft. (60.7m <sup>2</sup> )
TOTAL:	2970.0 sq ft. (277.2m <sup>2</sup> )
SECONDARY DWELLING UNIT:	725.0 sq ft. (67.4m <sup>2</sup> )
MAX. FLOOR AREA - PRINCIPAL BUILDING:	1100.8 sq ft. (103.2m <sup>2</sup> )
SECOND FLOOR AREA:	1217.0 sq ft. (113.3m <sup>2</sup> )
THIRD FLOOR AREA:	652.2 sq ft. (60.7m <sup>2</sup> )
TOTAL FLOOR AREA:	2970.0 sq ft. (277.2m <sup>2</sup> )
DEVELOPMENT FLOOR AREA:	2732.3 sq ft. (253.8m <sup>2</sup> )
FLOOR AREA RATIO (FAR):	21.5%
ACTUAL FAR:	21.5%
PERMITTED FAR:	21.5%
PERMITTED FAR:	21.5%

**SITE & DEVELOPMENT DATA**

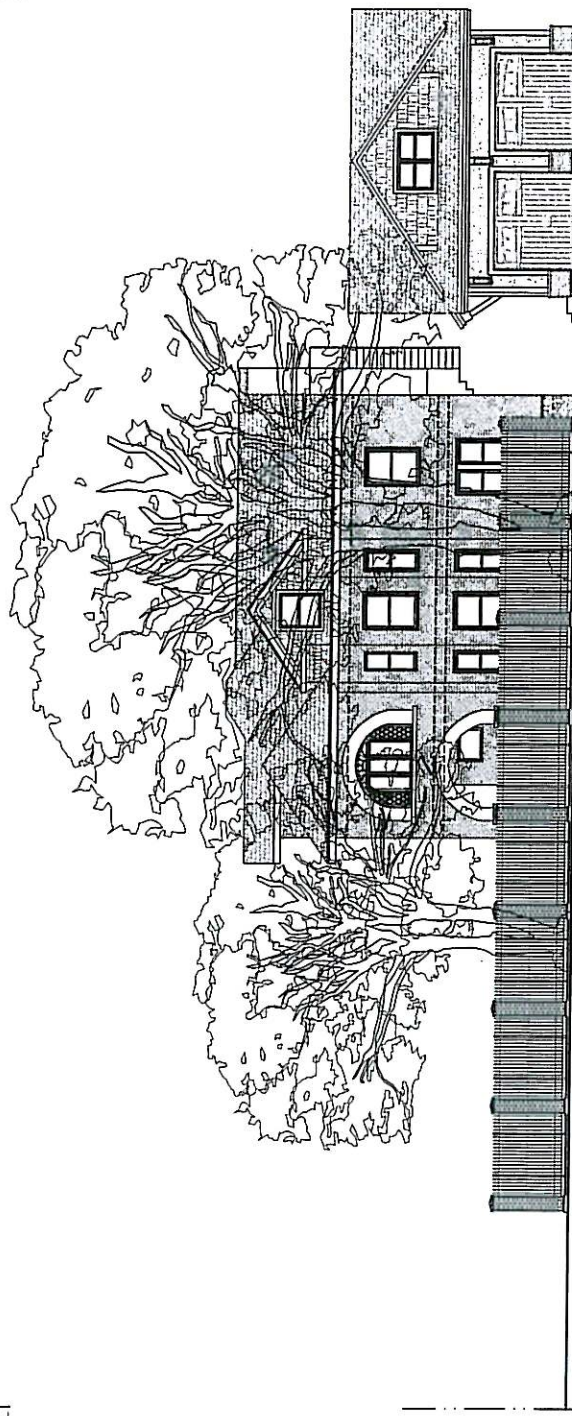
SITE COVERAGE:	1257.0 sq ft. (116.8m <sup>2</sup> )
PRINCIPAL BUILDING UNIT FOOTPRINT:	1100.8 sq ft. (103.2m <sup>2</sup> )
DRIVE & PARKING:	232.0 sq ft. (21.6m <sup>2</sup> )
DECKS OVER 2'-0" TO 6":	301.5 sq ft. (28.0m <sup>2</sup> )
ACTUAL SITE COVERAGE (BULD., FOOTPRINTS, DRIVE & PARKING):	17.9%
ACTUAL SITE COVERAGE (BULD., DRIVE & PARKING):	32.0%
PERMITTED SITE COVERAGE (BULD., DRIVE & PARKING):	30%
FOOTPRINT SITE COVERAGE (BULD., DRIVE & PARKING):	62%

Revised

Revision  
18.03.08



PROPERTY LINE

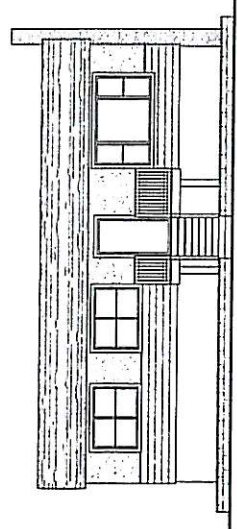


PROPERTY LINE

VIEW FROM ETHEL STREET

**STICKS and STONES**  
design group

91.1 BORDEN AVENUE - MARCH 18, 2009  
1 1/2 storey Cottage House option as requested  
for review by City of Kelowna



**SCHEDULE BB-1/13**  
This forms part of development  
Permit # **HKR09-0002**

**NOTES:**  
 1. DO NOT SCALE DRAWING.  
 2. ALL FINISHES AND MATERIALS TO BE USED SHALL BE APPROVED BY THE ARCHITECT.  
 3. ALL WORK TO CONFORM TO THE APPLICABLE B.C. BUILDING CODE.  
 4. THESE DRAWINGS ARE PREPARED BY STICKS AND STONES DESIGN GROUP INC. FOR THE ARCHITECT'S INFORMATION ONLY.  
 5. THE ARCHITECT IS RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT.

NO.	REVISION	DATE
1.	CITY OF FLEWINGIA, DC 01120	01/20/20
2.	CONTRACTOR: FREDERICK J. MOORE, DC-114	01/20/20
3.	CONTRACTOR: FREDERICK J. MOORE, DC-114	01/20/20
4.	CONTRACTOR: FREDERICK J. MOORE, DC-114	01/20/20
5.	CONTRACTOR: FREDERICK J. MOORE, DC-114	01/20/20
6.	CONTRACTOR: FREDERICK J. MOORE, DC-114	01/20/20
7.	CONTRACTOR: FREDERICK J. MOORE, DC-114	01/20/20

**NOT FOR CONSTRUCTION**

**PROJECT:**  
 911 BORDEN AVENUE  
 FLEWINGIA, DC

**ADDRESS AND LEGAL:**  
 911 BORDEN AVENUE  
 FLEWINGIA, DC

**LOT:**  
 LOT 1  
 BLOCK 1  
 PLAN 2601

DATE:	02/04/2009	REVISION:	
SCALE:	AS NOTED	DRAWN BY:	LECP
CHECKED BY:	CF	SHEET:	A1

**ALL BRICK SURFACES AND WINDOW SILLINGS TO BE RESTORED TO ORIGINAL FINISH. A SILLING SYSTEM HAS BEEN DISCLOSED WITH THE CLIENT. SEE PHOTO IS IN FINISH DOCUMENT.**

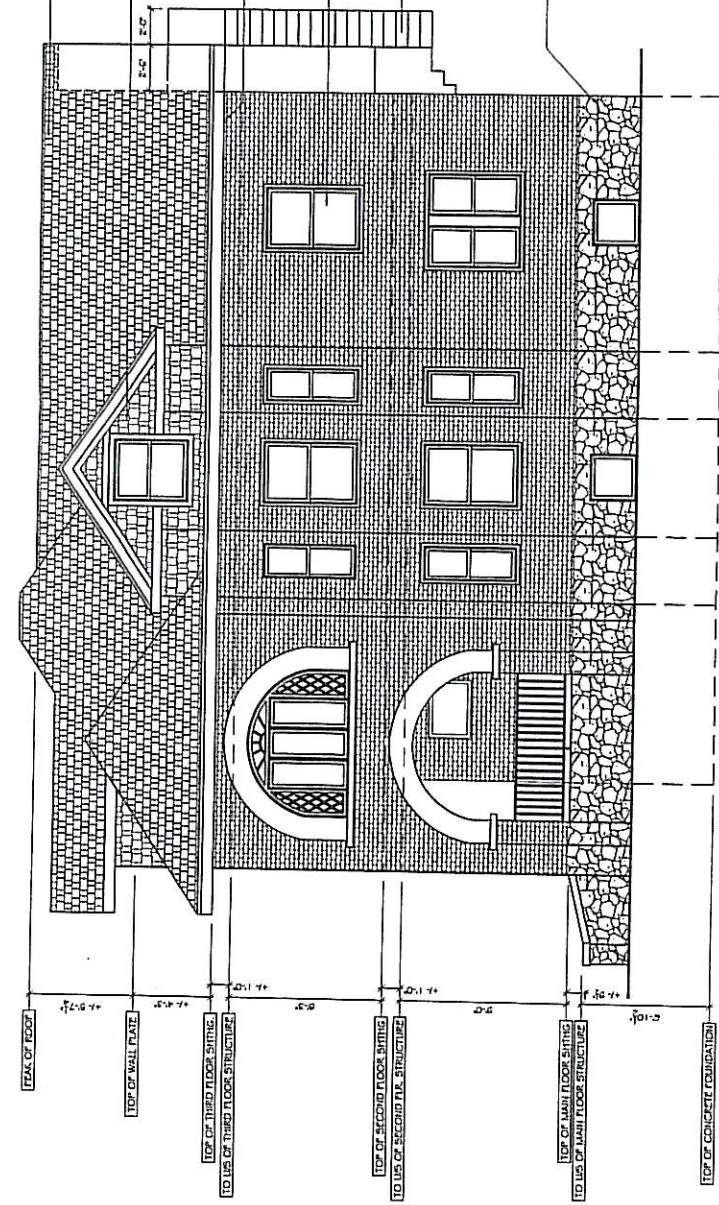
**ALL EXISTING WOOD SHAKES TO BE REMOVED AND REPLAZED WITH NEW WOOD SHAKES. WOOD COLOUR: BOURNAIN MOORE, DC-460 BUTTER CREAM.**

**ALL SILLINGS TO BE REFURBISHED AND PAINTED WITH WOOD PRESERVATIVE. WOOD COLOUR: BOURNAIN MOORE, DC-114 LEMON ICE.**

**NEW WOOD WINDOWS TO BE INSTALLED WITH THE FOLLOWING CHARACTERISTICS: WOOD PRESERVATIVE: BOURNAIN MOORE, DC-114 LEMON ICE.**

**NEW WINDOW SILLINGS TO BE INSTALLED WITH THE FOLLOWING CHARACTERISTICS: WOOD PRESERVATIVE: BOURNAIN MOORE, DC-114 LEMON ICE.**

**NEW STONE FINISH TO EXISTING FINISHES (SEE PHOTO 23 IN FINISH REFURBISHMENT PLAN DOCUMENT).**



**SCHEDULE**  
 This forms part of the ELEVATIONS Improvement Permit # HR101-0002

\*NOTE TO BE READ IN CONJUNCTION WITH FINISH REFURBISHMENT PLAN DOCUMENT

**NOTES**  
1. 3D NOT TO SCALE DRAWING.  
2. VERIFY ALL DIMENSIONS AND INFORMATION.  
3. ALL WORK TO CONFORM TO THE APPLICABLE BUILDING CODES.  
4. THIS DRAWING IS THE PROPERTY OF STICKS AND STONES DESIGN GROUP. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN.  
5. THIS DRAWING IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

NO.	REVISION	DATE
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**NOT FOR CONSTRUCTION**

**PROJECT:**  
911 BORDEN AVENUE

**ADDRESS AND LEGAL:**  
911 BORDEN AVE.  
FELONWIA, DC

**LOT 1**  
**BLOCK 1000**  
**PLAN 2601**

**DRAWING TITLE:**  
ELEVATIONS

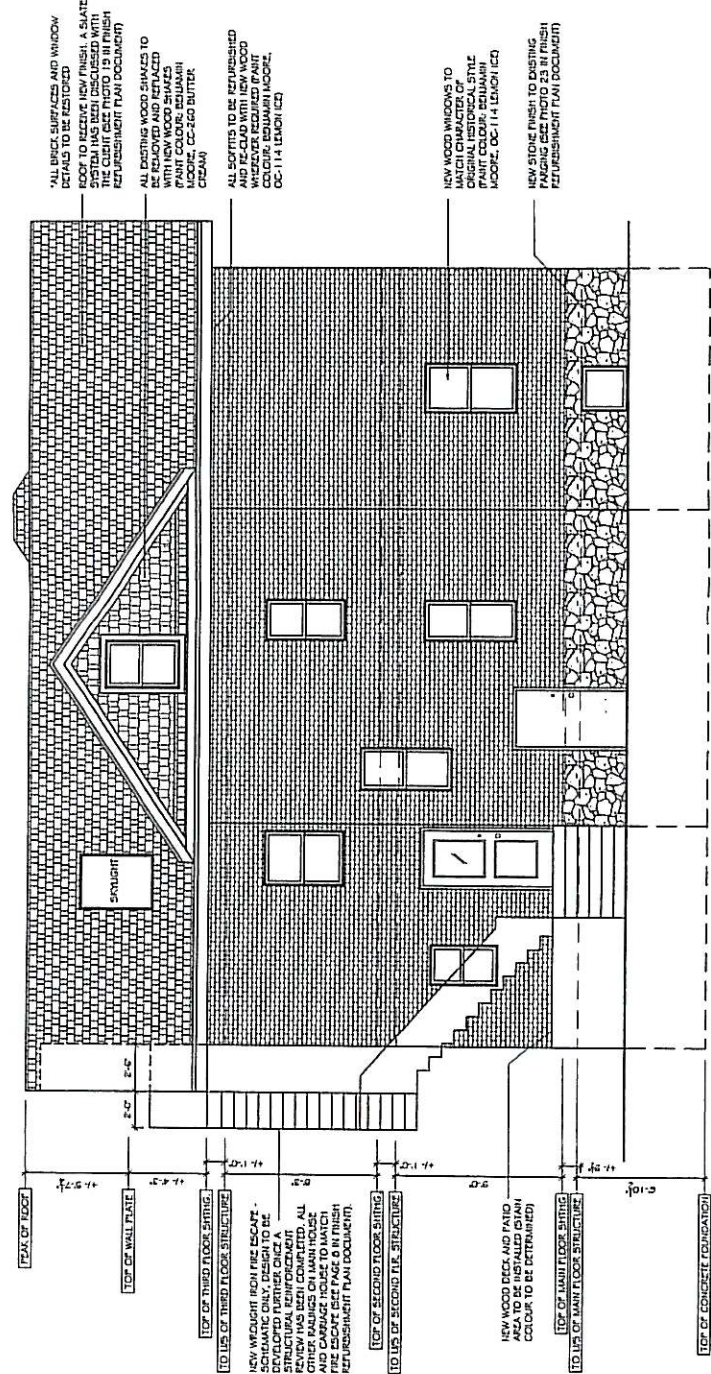
DATE	REVISION
05-04-2009	

SCALE	AS NOTED

DRAWN BY:	LCPT	CHECKED BY:	CF



**SCHEDULE 68-5/13**  
This forms part of development  
Permit # **HR109-0002**

\* NOTE TO BE READ IN CONJUNCTION WITH FINISH REFURNISHMENT PLAN DOCUMENT

**EAST ELEVATION**



NOT FOR CONSTRUCTION

NO.	REVISION	DATE
1.		
2.		
3.		
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6.		
7.		
8.		

CITY OF FREDERICK, MD  
CONTRACTOR RECORDS  
DATE: 02/04/2009

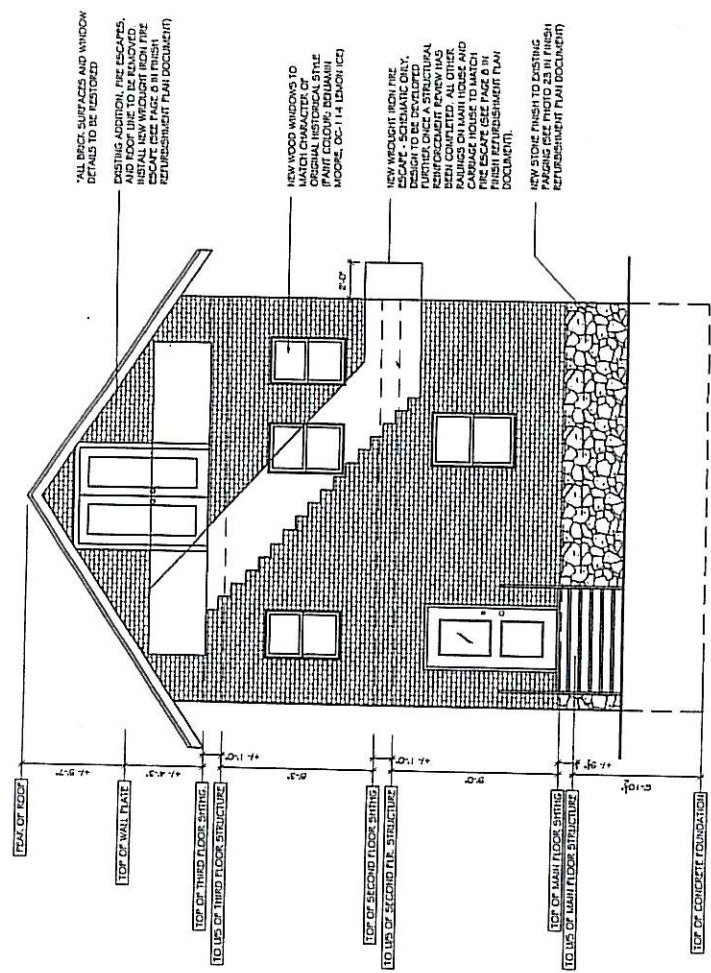
PROJECT:  
911 BORDEN AVENUE

ADDRESS AND LEGAL:  
911 BORDEN AVE.  
FREDERICK, MD

LOT 1  
BLOCK 1  
PLAN 2001

DATE: 02/04/2009  
SCALE: AS NOTED  
DRAWN BY: LB  
CHECKED BY: CF

**SCHEDULE**  
ELEVATIONS  
This forms part of development  
Permit # **HR1009-0002**



SOUTH ELEVATION





**FINISH REFURBISHMENT PLAN - REVISED**  
**911 Borden Avenue**  
Kelowna, BC

**SCHEDULE** BB6/13  
This forms part of development  
Permit # HR109-0002

**Feb. 4, 2009 - Issued to City of Kelowna, Heritage Home Restoration**  
**10 Pages Total**

**General Info**

Contact Cheryl Plaxton or Leigh Blackburn of Sticks and Stones Design Group (250-712-9282) for any questions or clarifications.

**Project Overview**

Our objectives for this Historical Home include the complete restoration of the interior and exterior of the building and re-designed landscaping that will enhance the unique historical character of the property. This includes the:

- Removal of the south addition;
- Installation of a new wrought iron fire escape;
- Refurbishment of original brick and wood work which may include the removal of existing bricks. Currently our client has been in contact with two masons who have extensive experience with local historical restoration projects. Soffits and fascia will need to be refurbished and new eaves installed;
- Installation of new wood windows and doors;
- Installation of updated roofing (possibly slate - structural consultant to provide input on support requirements)
- Replacement of existing shakes with new painted wood shakes;
- Cladding of existing concrete parging with new stone;
- Cladding of concrete steps with new wood decking and stair treads;
- Installation of a new wood deck and patio area;
- Addition of new perimeter brick and iron fencing;
- Updates to lighting fixtures and hardware with a Historical style;
- Updates to landscaping with a focus on retaining the existing trees, and
- Installation of appropriate paving materials.

We are also proposing to incorporate a small carriage house in the SE corner of the property that would emulate the brickwork and the character of the original building. This carriage home will be slab on grade construction intended for residential use. Finishes for the home are yet to be determined, but may have similar finishes to the interior of the main home.

Interior updates to the existing building will include maintaining the 3<sup>rd</sup> floor residential suite, converting the 2<sup>nd</sup> and 1<sup>st</sup> floors into commercial office spaces for a family run business & foundation, and updating the basement level as a secure storage space. The design of the interior spaces is still under development, but generally these updates will include:

- The rewiring of all electrical to bring the home up to code and modern standard;
- A complete overhaul of the plumbing and heating systems while maintaining the original radiant heating units;
- The addition of fire sprinklers throughout;
- The removal of numerous existing walls – this will include consultant review of structural updates such as overhead beams and posts;
- The exposure of existing brickwork to the interior;
- The restoration of the existing stairwell railings and mouldings to remain;
- A complete interior renovation including new walls, interior glazing, lighting, millwork, plumbing fixtures, fireplaces, and finishes. Finishes are yet to be determined but may include new wood floors, historical doors and hardware, pot & specialty lighting.
- The 3<sup>rd</sup> floor layout will remain, but due to updates of electrical, plumbing, and heating some renovation work will be required.

# FINISH REFURBISHMENT PLAN – 911 Borden Avenue

Feb. 4, 2009 - Issued to City of Kelowna, Heritage Home Restoration

## Refurbishment Plan



Front Entry and Stairs

New wood windows to match character of original historical style.

New lighting to existing locations and in some select new locations.

New house number and hardware.

New wood doors to match original historical style.

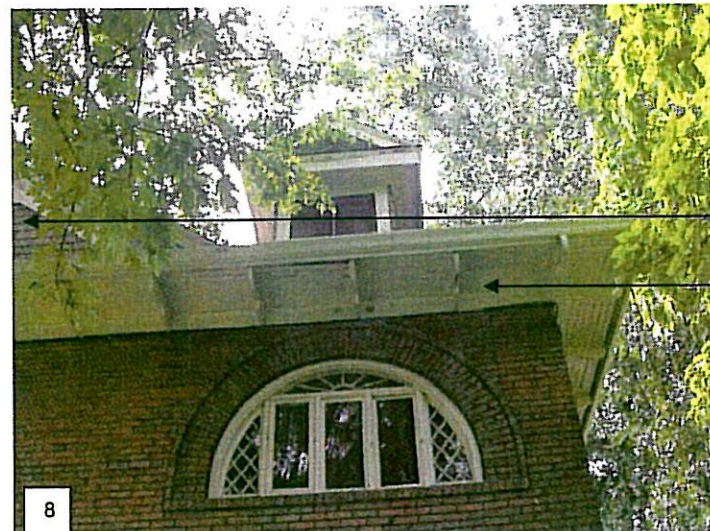
New stone finish to existing parging.

Refurbish existing stair wall cap, allow for thickness of stone below.

New stone finish to existing stair walls.

New wood decking applied to steps and porch area (stain colour TBD)

Updated paving materials (TBD). Steps may need to be jacked up.



North upper window and dormers.

All existing wood shakes to be removed and replaced with new painted wood shakes.

All soffits to be refurbished and re-clad with new wood wherever required.

SCHEDULE<sup>4</sup> BB8/13

This forms part of development  
Permit # HRA09-0002

# FINISH REFURBISHMENT PLAN – 911 Borden Avenue

Feb. 4, 2009 - Issued to City of Kelowna, Heritage Home Restoration



West elevation of building.

Roof to receive new finish. A slate system has been discussed with the client.

Addition to be removed. All brick surfaces to be restored.

All cabling to run through the new interior walls rather than along the exterior as existing. General Contractor to provide direction to Sticks and Stones Design Group regarding requirements of interior walls.

New wrought iron railing to match character of new fire escape.



South elevation of building.

Remove existing addition, fire escapes, and roof line. Install new wrought iron fire escape.

Potential rear entryway to be added at existing door to future boardroom.

Location for new carriage home emulating style of existing home.

Parking areas and walkways to receive new paving finishes TBD.

**FINISH REFURBISHMENT PLAN – 911 Borden Avenue**  
 Feb. 4, 2009 - Issued to City of Kelowna, Heritage Home Restoration

**SCHEDULE** BB9/13  
 This forms part of development  
 Permit # HRA09-0002



11

East Elevation of Building

All existing wood shakes to be removed and replaced with new painted wood shakes.

Eaves to be replaced.

Remove existing fire escape. Patch and repair all damaged brick.

Remove existing wood patio. New wood deck and patio area to be installed.

New historical style wood doors to be installed.

New stone finish to existing paving. Any structural cracking or damage to be addressed.



12

Existing pergola on East end of building.

Existing pergola to be removed to accommodate new deck, landscaping, and carriage home.

**FINISH REFURBISHMENT PLAN – 911 Borden Avenue**  
Feb. 4, 2009 - Issued to City of Kelowna, Heritage Home Restoration

**SCHEDULE** BB10/13  
This forms part of development  
Permit # HKA09 - 0002



Brick window detail

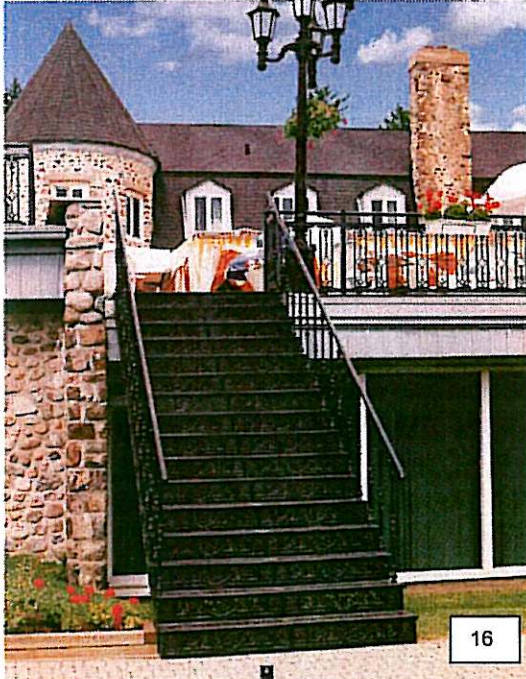
**FINISH REFURBISHMENT PLAN – 911 Borden Avenue**  
Feb. 4, 2009 - Issued to City of Kelowna, Heritage Home Restoration

**SCHEDULE BB 11/13**  
This forms part of development  
Permit # **HRA09-0002**

**Proposed New Finishes**

The following images indicate any proposed new exterior finishes:

**Fire Escape and Railings Concept**





# FINISH REFURBISHMENT PLAN – 911 Borden Avenue

Feb. 4, 2009 - Issued to City of Kelowna, Heritage Home Restoration

**SCHEDULE** BB12/13  
 This forms part of development  
 Permit # HR109-0002

### Slate Roof



19

### Paint Finishes

1. Benjamin Moore, OC-114 Lemon Ice  
Location: Windows and Doors, Soffits, Fascia, and Trim.
2. Benjamin Moore, CC-260 Butter Cream  
Location: Wood Shakes.

### Proposed Lighting



20

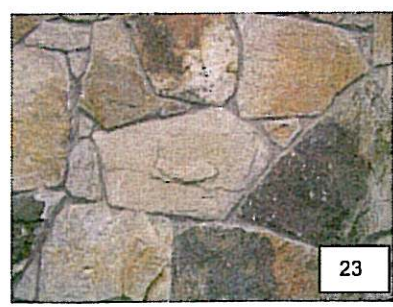


21



22

### Stone Style to Cover Existing Parging



23

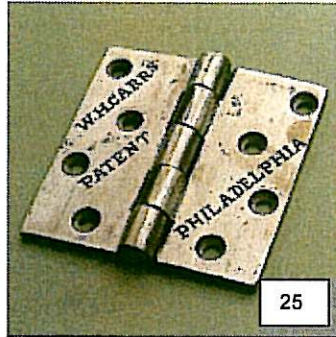
**FINISH REFURBISHMENT PLAN – 911 Borden Avenue**  
Feb. 4, 2009 - Issued to City of Kelowna, Heritage Home Restoration

**SCHEDULE** BB13 / 13  
This forms part of development  
Permit # HR109-0002

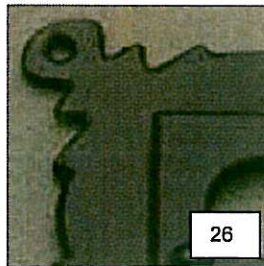
**Proposed Door Hardware**



Entry Set (Style only)



Hinge Style



Hardware Finish

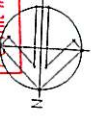
**Perimeter Fencing Inspiration**





# 911 BORDEN AVE. CONCEPTUAL LANDSCAPE DESIGN

SCHEDULE CC-2/2  
This forms part of development  
Permit # H1404-0002

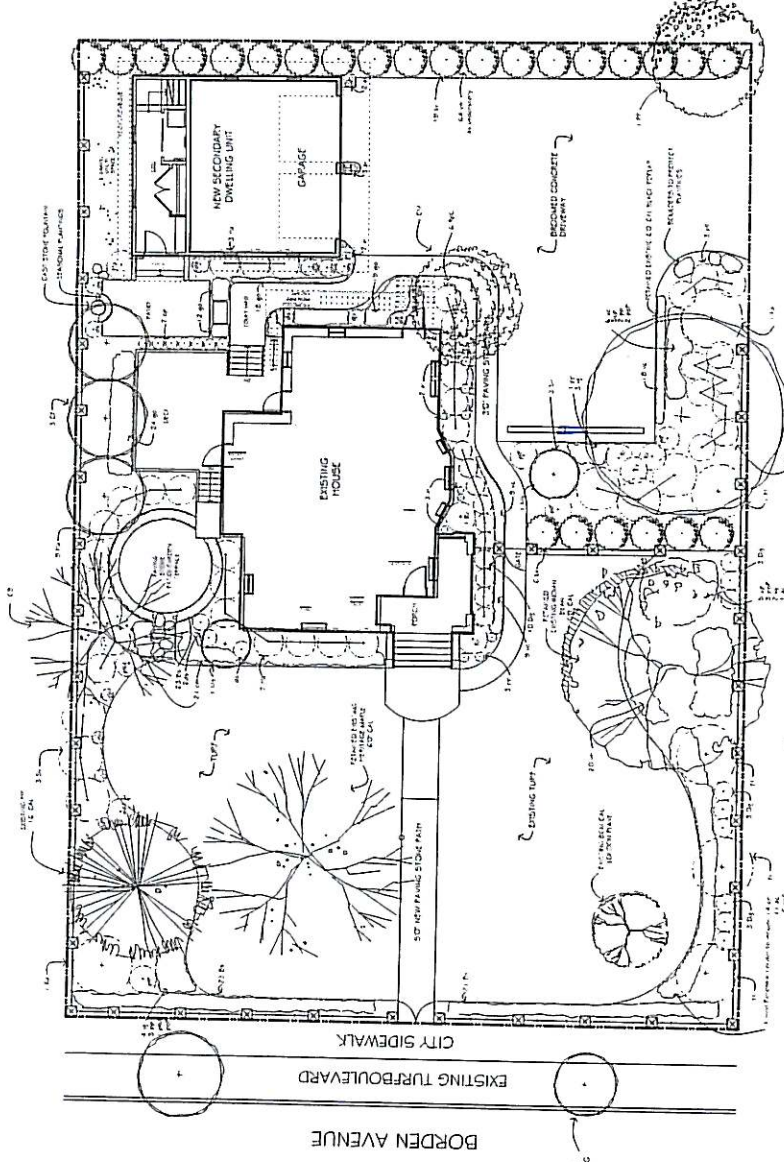


PROPOSED PLANTING SCHEDULE

Qty	Species Name	Common Name	Size at planting	Height at Maturity	Spread at Maturity	Spacing
1	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
2	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
3	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
4	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
5	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
6	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
7	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
8	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
9	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
10	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
11	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
12	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
13	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
14	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
15	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
16	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
17	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
18	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
19	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
20	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
21	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
22	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
23	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
24	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m
25	Calliandra	Calliandra	45 cm	1.5 m	1.5 m	1.5 m

NOTES & SPECIFICATIONS

1. ALL PLANTING MATERIAL TO BE DELIVERED TO THE SITE.
2. ALL REPLANTING AREAS TO BE WATERED BY A FULLY OPERATIONAL IRRIGATION SYSTEM.
3. ALL PLANTING AREAS TO BE WATERED BY A FULLY OPERATIONAL IRRIGATION SYSTEM.
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<b>NATURE WORKS</b> LAND DESIGN PO BOX 2007 1700 CHAM BRUNNCH KESWICK, VIC 3176 www.natureworks.com.au	<b>PROJECT TITLE:</b> 911 BORDEN AVE	<b>DRAWING TITLE:</b> CONCEPTUAL LANDSCAPE LAYOUT	<b>CLIENT:</b> TEAM CONSTRUCTION	<b>DESIGNER:</b> BH	<b>DATE:</b> 04/10/2020	<b>SCALE:</b> L-1	<b>JOB NO:</b> 00037
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